



# BLT Inspections, Inc.

## 4-Point Inspection Report

LOCATED AT:  
1234 Sample Dr  
Sunny, FL

PREPARED EXCLUSIVELY FOR:  
Happy Homeowner

INSPECTED ON:  
Monday, February 26, 2024



Inspector, Brandon Testone HI8889  
BLT Inspections, Inc.



# 4-Point Inspection Form

Insured/Applicant Name: Happy Homeowner Application / Policy #: \_\_\_\_\_

Address Inspected: 1234 Sample Dr Sunny, FL

Actual Year Built: 1990

Date Inspected: 02/26/2024

This is NOT a standard home inspection. A Four-Point Insurance Inspection is a limited, non-evasive visual inspection of the roof, heating/cooling, electrical and plumbing systems. Latent or unobserved defects may be present. Any age disclosures listed in this report without documentation is solely based on the opinion of the inspector. By utilizing this report, all parties agree to hold BLT Inspections, Inc harmless for the results and/or consequences of the reports' findings. This report does not guarantee the insurability of the inspected property.

## Electrical System

Our opinions stated herein concerning the electrical system are based on a limited visual inspection and do not constitute any type of certification or warranty. Underground, concealed and/or inaccessible circuits are excluded from this inspection. Determining the actual capacity of the system requires load calculations which is beyond the scope of this inspection. If more assurances are warranted, further evaluation by a licensed electrical contractor is recommended.

### Main Panel

Type:  Circuit breaker  Fuse

Total Amps: 200

Is amperage sufficient for current usage?  Yes  Unknown

### Second Panel

Type:  Circuit breaker  Fuse

Total Amps: \_\_\_\_\_

Is amperage sufficient for current usage?  Yes  Unknown

### Indicate presence of any of the following:

- Cloth wiring
- Active knob and tube
- Branch circuit aluminum wiring (If present, describe the usage of all aluminum wiring):

\* If single strand (aluminum branch) wiring, provide details of all remediation. *Separate documentation of all work must be provided.*

- Connections repaired via COPALUM crimp
- Connections repaired via AlumiConn

### Hazards Present

- Blowing fuses
- Tripping breakers
- Empty breaker slots
- Loose wiring
- Improper grounding
- Corrosion
- Over fusing

- Double taps
- Exposed wiring
- Unsafe wiring
- Improper breaker size
- Scorching
- Other (explain)

## Supplemental information

### Main Panel

Panel age: 34 years

Year last updated: Unknown

Brand/Model: Square D

### Second Panel

Panel age: \_\_\_\_\_

Year last updated: \_\_\_\_\_

Brand/Model: \_\_\_\_\_

### Wiring Type

Copper

NM, BX or Conduit

General condition of the electrical system:  Satisfactory  Unsatisfactory (explain)

# 4-Point Inspection Form

## HVAC System

Our opinions stated herein concerning the hvac system(s) are based on a limited visual inspection and do not constitute any type of certification or warranty. The unit(s) will be activated briefly to ensure a normal response only. If more assurances are warranted, further evaluation by a licensed HVAC contractor is recommended.

Central AC:  Yes  No

Central heat:  Yes  No

Date of last HVAC servicing/inspection: 2023

If not central heat, indicate **primary** heat source and fuel type: \_\_\_\_\_

### Hazards Present

Wood-burning stove or central gas fireplace *not* professionally installed?  Yes  No

Space heater used as primary heat source?  Yes  No

Is the source portable?  Yes  No

Does the air handler/condensate line or drain pan show any signs of blockage or leakage, including water damage to the surrounding area?  
 Yes  No

### Supplemental Information

Age of system: 5 years

Year last updated: 2018 (Please attach photo(s) of HVAC equipment, including dated manufacturer's plate)

Are the heating, ventilation and air conditioning systems in good working order?  Yes  No (explain)

## Plumbing System

Our opinions stated herein concerning the plumbing system are based on a limited visual inspection and do not constitute any type of certification or warranty. We do not test fixture overflows as they can sometimes be defective and cause interior water damage. If more assurances are warranted, further evaluation by a licensed plumbing contractor is recommended.

Is there a temperature pressure relief valve on the water heater?  Yes  No

Is there any indication of an active leak?  Yes  No

Is there any indication of a prior leak?  Yes  No

Water heater location: Garage/ 13 years

### General condition of the following plumbing fixtures and connections to appliances:

	Satisfactory	Unsatisfactory	N/A		Satisfactory	Unsatisfactory	N/A
Dishwasher	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Toilets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Refrigerator	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sinks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Washing machine	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sump pump	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Main shut off valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Showers/Tubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All other visible	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### Supplemental Information

Age of Piping System:

\_\_\_\_\_ Original to home

\_\_\_\_\_ Completely re-piped

Est 2 years Partially re-piped

(Provide year and extent of renovation in the comments below)

**Year of plumbing updates estimated to be around 2022**

**Kitchen has been updated with Cpvc piping**

**Majority of home has original Copper piping.**

**Underground or concealed plumbing materials used is unknown**

### Type of pipes (check all that apply)

Copper

PVC/CPVC

Galvanized

PEX

Polybutylene

Other (specify)

# 4-Point Inspection Form

## Roof

Our opinions stated herein concerning the roof are based on a limited visual inspection and do not constitute any type of certification or warranty. The inspector cannot conclusively state whether the roof is, or will remain free of leaks. If more assurances are warranted, further evaluation by a licensed roofing contractor is recommended.

### Predominant Roof

Covering material: Asphalt

Roof age (years): 5 years

Remaining useful life (years): 15 years

Date of last roofing permit: 10/17/2019

Last year updated: 2019

If updated (check one):

- Full replacement  
 Partial replacement

% of replacement: \_\_\_\_\_

Overall condition:

- Satisfactory  
 Unsatisfactory (explain below)

### Any visible signs of damage / deterioration?

(check all that apply and explain below)

- Cracking  
 Cupping/curling  
 Excessive granule loss  
 Exposed asphalt  
 Exposed felt  
 Missing/loose/cracked tabs or tiles  
 Soft spots in decking  
 Visible hail damage

Any visible signs of leaks?  Yes  No

Attic/underside of decking  Yes  No

Interior ceilings  Yes  No

### Secondary Roof

Covering material: \_\_\_\_\_

Roof age (years): \_\_\_\_\_

Remaining useful life (years): \_\_\_\_\_

Date of last roofing permit: \_\_\_\_\_

Last year updated: \_\_\_\_\_

If updated (check one):

- Full replacement  
 Partial replacement

% of replacement: \_\_\_\_\_

Overall condition:

- Satisfactory  
 Unsatisfactory (explain below)

### Any visible signs of damage / deterioration?

(check all that apply and explain below)

- Cracking  
 Cupping/curling  
 Excessive granule loss  
 Exposed asphalt  
 Exposed felt  
 Missing/loose/cracked tabs or tiles  
 Soft spots in decking  
 Visible hail damage

Any visible signs of leaks?  Yes  No

Attic/underside of decking  Yes  No

Interior ceilings  Yes  No

## Additional Comments/Observations

HVAC ductwork replaced in 2021 / HVAC serviced October 2023

All 4-Point Inspection Forms must be completed and signed by a verifiable Florida-licensed inspector.



Inspector Signature

Title

HI8889

License Number

02/26/2024

Date

BLT Inspections, Inc.

Company Name

Home Inspector

License Type

(813) 777-9848

Work Phone

## Photo Summary

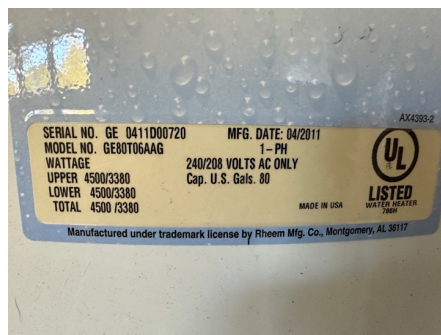
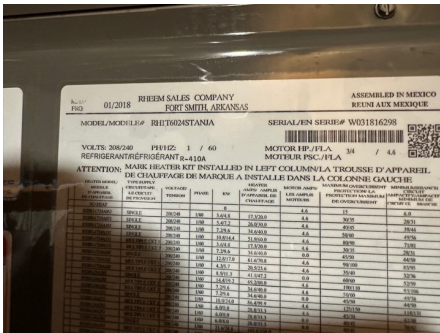
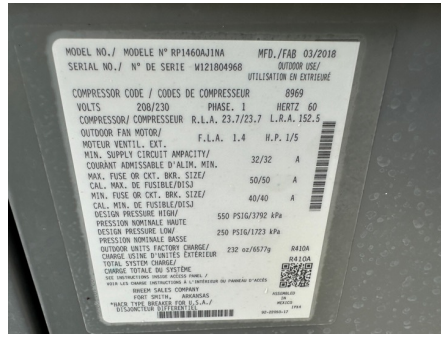
*Hazards- any listed in this report, Exterior- all sides, Roof- each slope, Plumbing- water heaters/data, under cabinet plumbing/drains, exposed valves, Electrical- panels/data w/cover off, Hvac- units/data*

### PHOTO SUMMARY

Exterior, Roof



### PHOTO SUMMARY Hvac, Electrical, Water Heater



### PHOTO SUMMARY Miscellaneous Plumbing



